



AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
RICHFIELD VILLAGE HALL
4128 HUBERTUS ROAD, HUBERTUS WISCONSIN
OCTOBER 19, 2016
6:00 P.M.

Pursuant to the requirements of Section 19.84, Wis. Stats., notice is hereby given of a meeting of the Village of Richfield Architectural Review Board, at which a quorum of the Village Board may attend in order to gather information about a subject which they have decision making responsibility. The meeting will be held at the above noted date, time and location. Notice of Village Board Quorum (Chairperson to announce the following if a quorum of the Village Board is an attendance at the meeting: "Please let the minutes reflect that a quorum of the Village Board is present and that the Village Board members may be making comments under the Public Comments section of the agenda, during Public Hearings, or if the rules are suspended to allow them to do so.")

1. Call to Order/ Roll Call
2. Verification of Open Meetings Law compliance
3. Pledge of Allegiance
4. Approval of Minutes:
 - a. February 24, 2016 – Special Meeting
5. DISCUSSION/ACTION
 - a. Discussion and possible recommendation to the Plan Commission regarding a proposed building alteration at Hawk's Point Shopping Center, generally located at 1717 Wolf Road (Tax Key: V10_034400E)
 - b. Discussion and possible recommendation to the Plan Commission regarding a proposed building expansion for Sloppy Joe's Saloon and Spoon, located at 3723 Hubertus Road (Tax Key: V10_0828)

6. ADJOURNMENT

Additional explanation of items on the agenda (Communication Forms) can be found on the village's website at www.richfieldwi.gov. Notification of this meeting has been posted in accordance with the Open Meeting Laws of the State of Wisconsin. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice. Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Clerk's office at 628-2260 or www.richfieldwi.gov with as much advance notice as possible.

1. Call to Order/Determination of Quorum

Chairman Bob Wirth called the meeting to order at 6:30 PM, noting that a quorum of the Board was present. Board members: Tim Einwalter, Del Schmechel, and Jason Duehring were present.

Also present: Administrator Jim Healy, Building Inspector Joel Jaster and Administrative Services Coordinator KateLynn Schmitt

Excused Absence: Commissioner Jim Otto

2. Confirmation of Open Meetings Law Compliance

Administrator Jim Healy confirmed that the agenda was posted at the Colgate, Hubertus, and Richfield U.S. Post Offices as well as online and at Village Hall. Digital copies of the agenda were also sent to the West Bend Daily News, Milwaukee Journal Sentinel, Hartford Times Press, and Germantown Express News.

3. Pledge of Allegiance

4. DISCUSSION/ACTION ITEMS

a. Discussion/Action regarding a proposed Headquarters Station for the Richfield Volunteer Fire Company (RVFC) at Heritage Park, Village of Richfield, Petitioner

Chairman Bob Wirth moved to suspend the rules to allow public comment; Seconded by Commissioner Jason Duehring; Motion passed without objection.

Terry Kohl, Richfield Volunteer Fire Company President spoke in favor of the design and implored the Architectural Review Board to consider the changes that were made. He also thanked them for their consideration.

Mike Shea, 1384 Sunndale Court spoke in favor of the design.

Mike Hellig, Chaplin for the Richfield Volunteer Fire Company and Pastor at Crown of Life Church, spoke in favor of the design and complimented the architect on designing the "second best building on Hubertus Road".

Norb Weyer 4054 Maple Grove Drive spoke in favor of the design and thanked the men and woman of the Richfield Volunteer Fire Company for their service.

Motion by Commissioner Duehring to approve, as submitted, the proposed Headquarters Station for the Richfield Volunteer Fire Company at Heritage Park; Seconded by Commissioner Schmechel. Motion passed without objection.

5. Adjournment

Motion by Commissioner Duehring to adjourn; Seconded by Commissioner Schmechel; Motion passed without objection at 7:20 PM.

Respectfully Submitted,



Jim Healy
Village Administrator



VILLAGE OF RICHFIELD
ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM
MEETING DATE: October 19, 2016

SUBJECT: Hawk's Point Shopping Center, 1717 Wolf Road (Tax Key: V10_034400E)
DATE SUBMITTED: October 13, 2016
SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTION: DOES THE ARCHITECTURAL REVIEW BOARD WISH TO RECOMMEND TO THE PLAN COMMISSION THE APPROVAL OF THE PROPOSED MODIFICATION TO THE EAST ENTRANCE FOR HEIMERMAN FINANCIAL?

ISSUE SUMMARY:

Design 2 Construct (D2C) was the original architect on the Hawk's Point Shopping Center when it was originally constructed and approved by the Town of Richfield in 2007. Since that time, the space on the east end of the property has had a number of financial institutions come and go, the most recently being Westbury Bank. The property is now under new ownership and the Developer has approached the Village with a minor modification to the building to essentially remove the "teller window" from the east side of the building and construct a 264sqft' vestibule/waiting area under the carport. The proposed plan by D2C is to match the existing EFIS, brick, and tumbled stone on the building along with installing five (5) new double hung windows and aluminum and glass storefront door with an added transom to match the height of the adjacent windows, a particularly nice design feature. The remaining elements on the building will stay the same. In the opinion of Staff, the architect has done a nice job of blending the existing design with the proposed addition. All of the materials being proposed are permitted by Code.

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY: Katey M. Schmitt
Village Deputy Treasurer

Forward to Plan Commission: Yes
Addition Approvals Needed: Yes

ATTACHMENTS:

1. Design 2 Construct submittal
2. Photos of the Site

STAFF RECOMMENDATION:

Motion to recommend approval to the Plan Commission for the design elevations on the proposed addition to Hawk's Point Shopping Center, located at 1717 Wolf Road (Tax Key: V10_034400E), as presented.

APPROVED FOR SUBMITTAL BY:

Village Staff Member

Village Administrator

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No. _____
Ordinance No. _____
Approved _____
Other _____

Continued To: _____
Referred To: _____
Denied _____
File No. _____

SSullivanC
Design2construct.
com



N173 W21010

Northwest Passage Way

Jackson, WI 53037

Tel: 262.677-9933

Fax: 262.677.9934

September 14th, 2016

Village of Richfield
4128 Hubertus Road
Hubertus, WI 53033
Attn: Jim Healy

Dear Mr. Healy:

Peter Heimerman with the Heimerman Financial is proposing a small addition and remodel to the existing Westbury Bank which was the east tenant of the total Hawks Point development. The newly remodeled space will be an office for financial advisement and will be a total of 2,813 square feet which includes the small 267 square foot entry addition.

The development will reduce impervious pavement on the site by removing part of the existing bank drive through hardscape and adding additional lawn with landscaped features that match what is currently planted on the site. We have attached the existing landscape plan along with our proposed landscape plan to show how we are implementing the same landscape style and standards in the alteration of the site.

The building material will be an exact match to the existing building by using the same stone and EFIS material. The addition itself will have minimal impact to the surrounding context as it will remain underneath the existing drive-thru canopy while maintaining all architectural datums and proportions of the existing building.

Please refer to the provided submittal for additional clarification. If you have any questions or concerns regarding this proposed development please contact my office.

Sincerely,

Shaun Sullivan
Architect
Design 2 Construct









DESIGN
•
CONSTRUCTION

PHONE (262) 677-9933
FAX (262) 677-9934

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

BUILDING DESIGN FOR:
HEIMERMAN FINANCIAL
N96W17695 RIVERSBEND CIRCLE WEST, SUITE 100
GERMANTOWN, WISCONSIN 53022

PROJECT DATA: SHEET INDEX:

BUILDING CODE: 2009 INTERNATIONAL BUILDING CODE
OCCUPANCIES: BUSINESS: B
CLASS OF CONSTRUCTION: TYPE VB
NO. OF STORIES: ONE
BUILDING TYPE: BUSINESS
AREAS (SQUARES):
INTERIOR ALTERATION: 2,346 SF
ADDITION: 363 SF
TOTAL: 2,709 SF

TS TITLE SHEET
L1.0 LANDSCAPE DESIGN
EXISTING LANDSCAPE PLAN
ARCHITECTURAL
A1.0 SITE PLAN & LANDSCAPE PLAN
A2.1 FIRST FLOOR PLAN
A4.0 EXTERIOR ELEVATIONS

PROJECT CONTACTS

CIVIL CONSULTANT
TBD

ARCHITECT
MARK HERTZFELDT

PROJECT MANAGER
TBD

PROJECT NO.
16.00162

DATE
09.14.2016

LANDSCAPE CONSULTANT
TBD

SEAL

STRUCTURAL CONSULTANT
TBD

DENTAL CONSULTANT

PREV. TRANS. NO.:
NEW TRANS. NO.:
REVIEWER:



BUILDING DESIGN FOR:
HEIMERMAN FINANCIAL
1717 WOLF ROAD
RICHFIELD, WI 53076

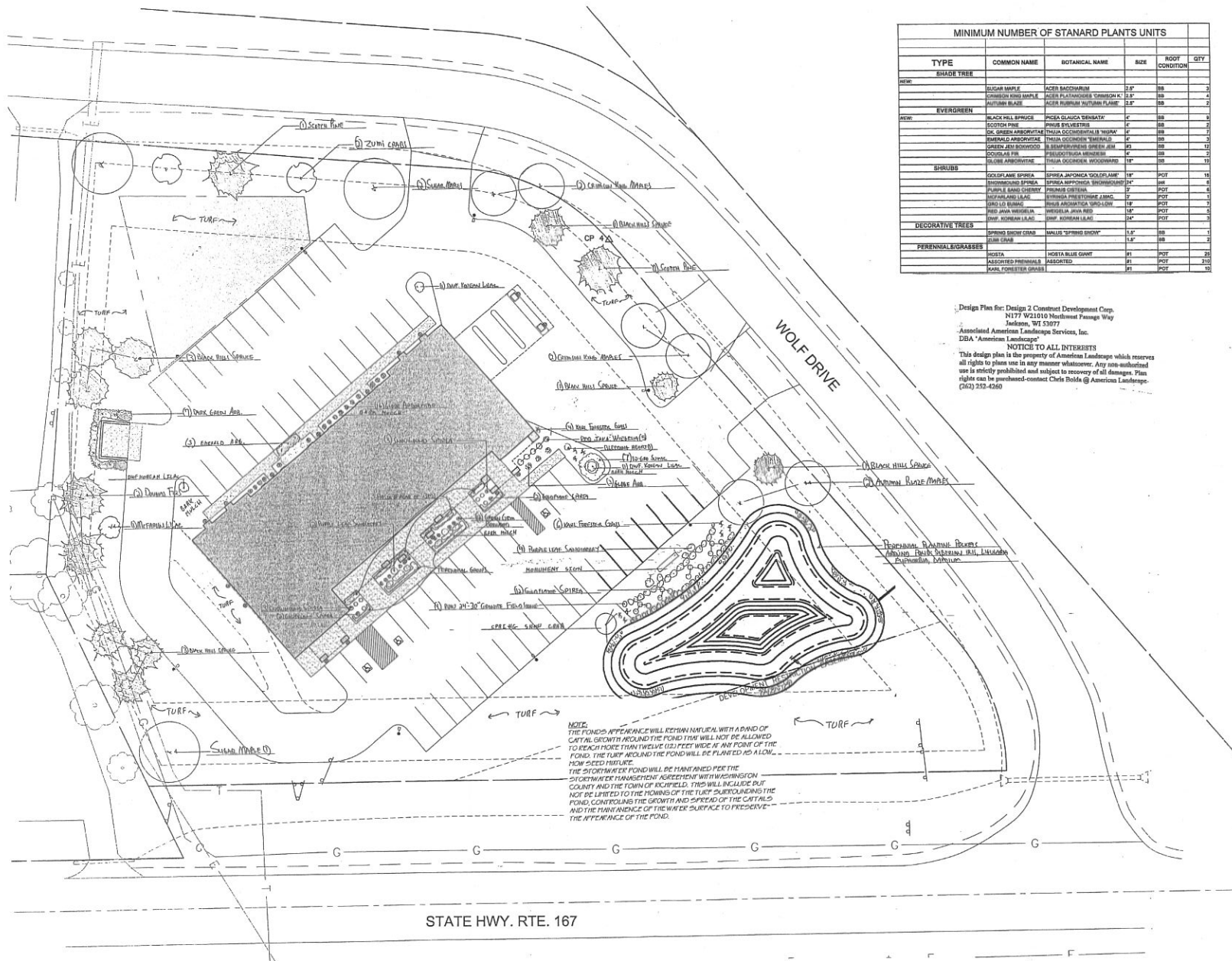
SHEET TITLE
TITLE SHEET

REVISIONS

PROJECT DATA

DATE
09.14.2016
JOB NO.
16-00162
SET USE
PLAN COMMISSION
FILE NAME
A1-TS
DRAWN BY
SPS
SHEET NO.

TS



DESIGN
2
CONSTRUCT
 DEVELOPMENT CORPORATION

1173 W21010
 NORTHWEST PASSAGE WAY
 JACKSON, WI 53037

PHONE 262.677.9933
 FAX 262.677.9934

info@design2construct.com

AMERICAN LANDSCAPE

1173 W21010 NORTHWEST PASSAGE WAY, JACKSON, WI 53037
 262.252.4260 Fax 262.252.4260 www.AmericanLandscape.com

PRELIMINARY LANDSCAPE DESIGN FOR:
 FLEISCHER DEVELOPMENT
 1173 W21010 NORTHWEST PASSAGE WAY, JACKSON, WI 53037

SHEET TITLE

REVISIONS

PROJECT DATA

DATE: 06.18.07

JOB NO: 07-00101

SHEET NO: 1

PLAN COMMISSION:

FILE NAME:

DESIGNED BY: Chris Deida, ASLA

SHEET NO: 2

L 1.0

BUILDING DESIGN FOR:
HEIMERMAN FINANCIAL
1717 WOLF ROAD
RICHFIELD, WI 53076

SHEET TITLE

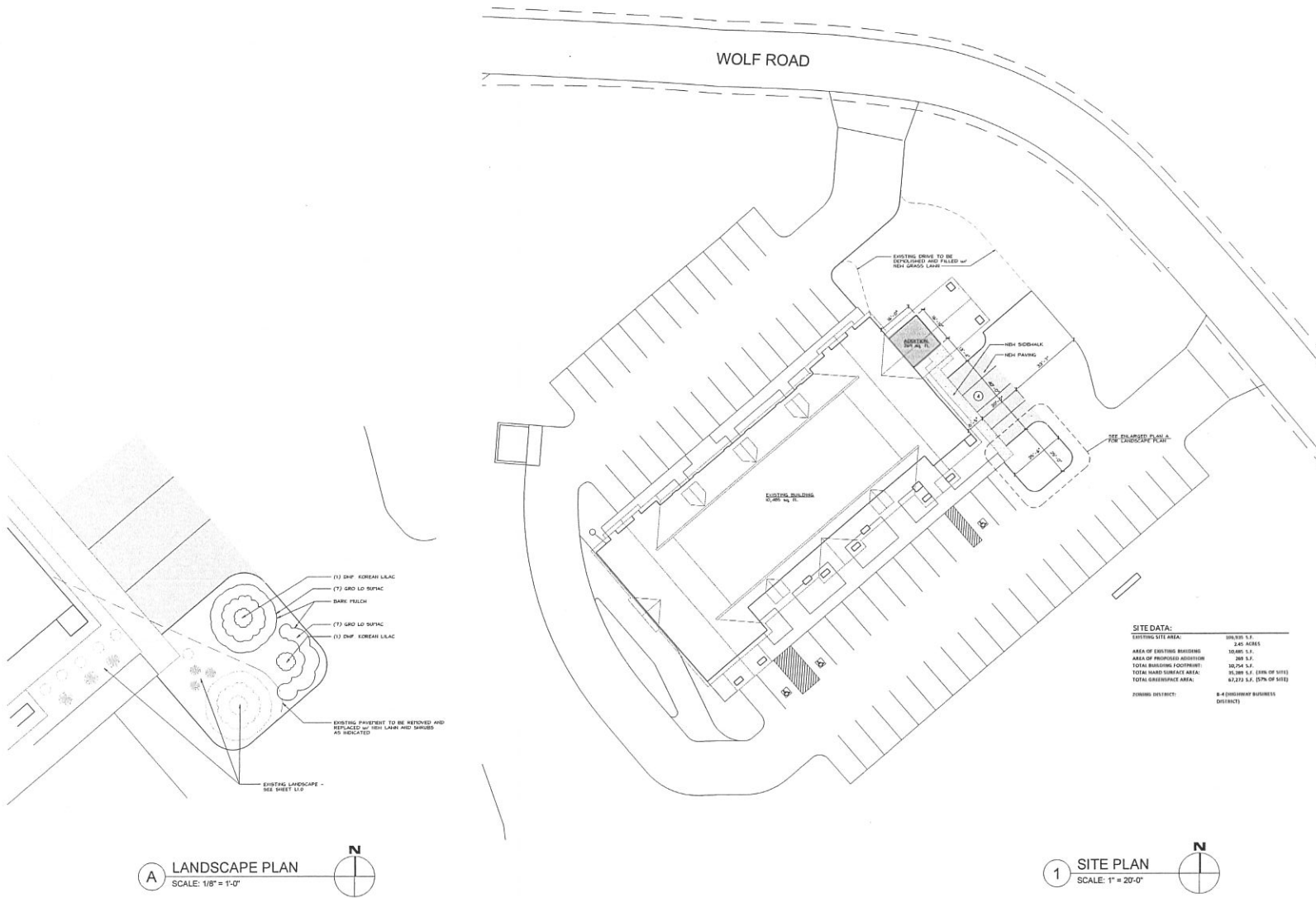
SITE PLAN

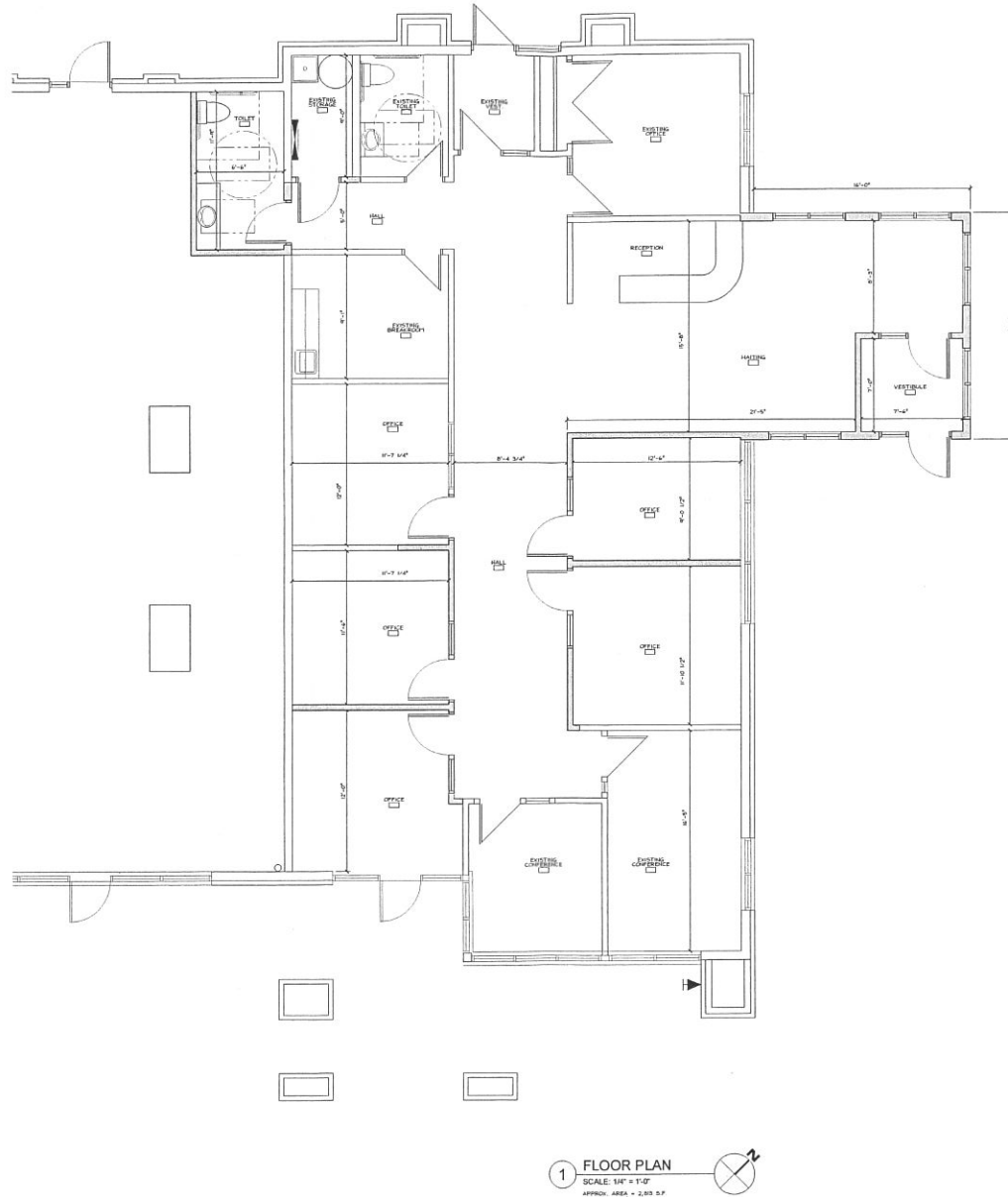
REVISIONS

PROJECT DATA

DATE: 09.14.2016
JOB NO.: 16-00162
SET USE: PLAN COMMISSION
FILE NAME: C1A1.0
DRAWN BY: SPS
SHEET NO:

A1.0





DESIGN
2
CONSTRUCT
 DEVELOPMENT CORPORATION

N173 W21010
 NORTHWEST PASSAGE WAY
 JACKSON, WI 53037

PHONE 262.677.9933
 FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
HEIMERMAN FINANCIAL
 1717 WOLF ROAD
 RICHFIELD, WI 53076

| SHEET TITLE |
|-------------|
| FLOOR PLAN |

| REVISIONS |
|-----------|
| |

| PROJECT DATA |
|--------------------|
| DATE |
| JOB NO. 09.14.2016 |
| KEY USE 16-00162 |
| PLAN COMMISSION |
| FILE NAME E-A2.1 |
| DRAWN BY SPS |
| SHEET NO. |
| A2.1 |

BUILDING DESIGN FOR:
HEIMERMAN FINANCIAL
1717 WOLF ROAD
RICHFIELD, WI 53076

SHEET TITLE
EXTERIOR ELEVATIONS

REVISIONS

PROJECT DATA

DATE
JOB NO. 09-14-2016
16-00162
SET USE
PLAN COMMISSION
FILE NAME
DRAWN BY H1-A4-D
SHEET NO. SPS

A4.0



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



VILLAGE OF RICHFIELD
ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM
MEETING DATE: October 19, 2016

SUBJECT: Sloppy Joe's Saloon and Spoon, 3723 Hubertus Road (Tax Key: V10_0828)
DATE SUBMITTED: October 13, 2016
SUBMITTED BY: Jim Healy, Village Administrator

POLICY QUESTION: DOES THE ARCHITECTURAL REVIEW BOARD WISH TO RECOMMEND TO THE PLAN COMMISSION THE APPROVAL OF THE PROPOSED BUILDING ADDITION TO SLOPPY JOE'S SALOON AND SPOON?

ISSUE SUMMARY:

MKE Design Build has proposed an ambitious addition to the iconic Sloppy Joe's building on Hubertus Road. The 27' wide addition to the east and south is being constructed for the purposes of creating additional kitchen space to the south and two-story seating to the east of the 100+ year old building.

On the north elevation of the proposed building addition would be the primary face of the building. What the architect and property owner are proposing are two (2) roll-up garage bay doors. While this design characteristic would be completely unique to the Village of Richfield, creating this sort of three-season space for customers is nothing new for places like the Village of Wauwatosa, City of Waukesha and City of Milwaukee where this is more common and typical of "streetside restaurants". Above the garage doors are downward facing lights, the same of which are proposed be hung on the east side of the building equidistant between the existing windows. Nine (9) column pillars utilizing the same type of stone on the first floor are also shown with presumably metal cable wiring to act as the safety feature. From speaking with the Village's Building Inspector this is up to "code" assuming the height, strength, and spacing requirements are met.

The materials proposed to be used on the building addition are "cream city brick", a burgundy colored hardiplank board along with a tumbled stone to more closely mimic the foundation on the west elevation. Also from the west elevation a noticeable architectural design feature is the outdoor wood burning fireplace for guests to enjoy while eating or drinking spirits. The south elevation, which is a least visible elevation on the property, they are proposing four (4) evenly spaced windows on the second floor and a double-door egress with stone column bookends. The same type of hardiplank siding will be the dominate feature for the rearview of this addition.

FUTURE IMPACT AND ANALYSIS:

REVIEWED BY: Katey W. Schmitt
Village Deputy Treasurer

Forward to Plan Commission: Yes
Addition Approvals Needed: Yes

ATTACHMENTS:

1. MKE Design Build submittal package
2. Washington County GIS aerial overview of site

STAFF RECOMMENDATION:

Motion to recommend approval to the Plan Commission for the design elevations on the proposed addition to Sloppy Joe's Saloon and Spoon, located at 3723 Hubertus Road (Tax Key: V10_0828), as presented.



VILLAGE OF RICHFIELD
ARCHITECTURAL REVIEW BOARD COMMUNICATION FORM
MEETING DATE: October 19, 2016

SUBJECT: Sloppy Joe's Saloon and Spoon, 3723 Hubertus Road (Tax Key: V10_0828)
DATE SUBMITTED: October 13, 2016
SUBMITTED BY: Jim Healy, Village Administrator

APPROVED FOR SUBMITTAL BY:


Village Staff Member


Village Administrator

VILLAGE CLERK USE ONLY
BOARD ACTION TAKEN

Resolution No. _____
Ordinance No. _____
Approved _____
Other _____

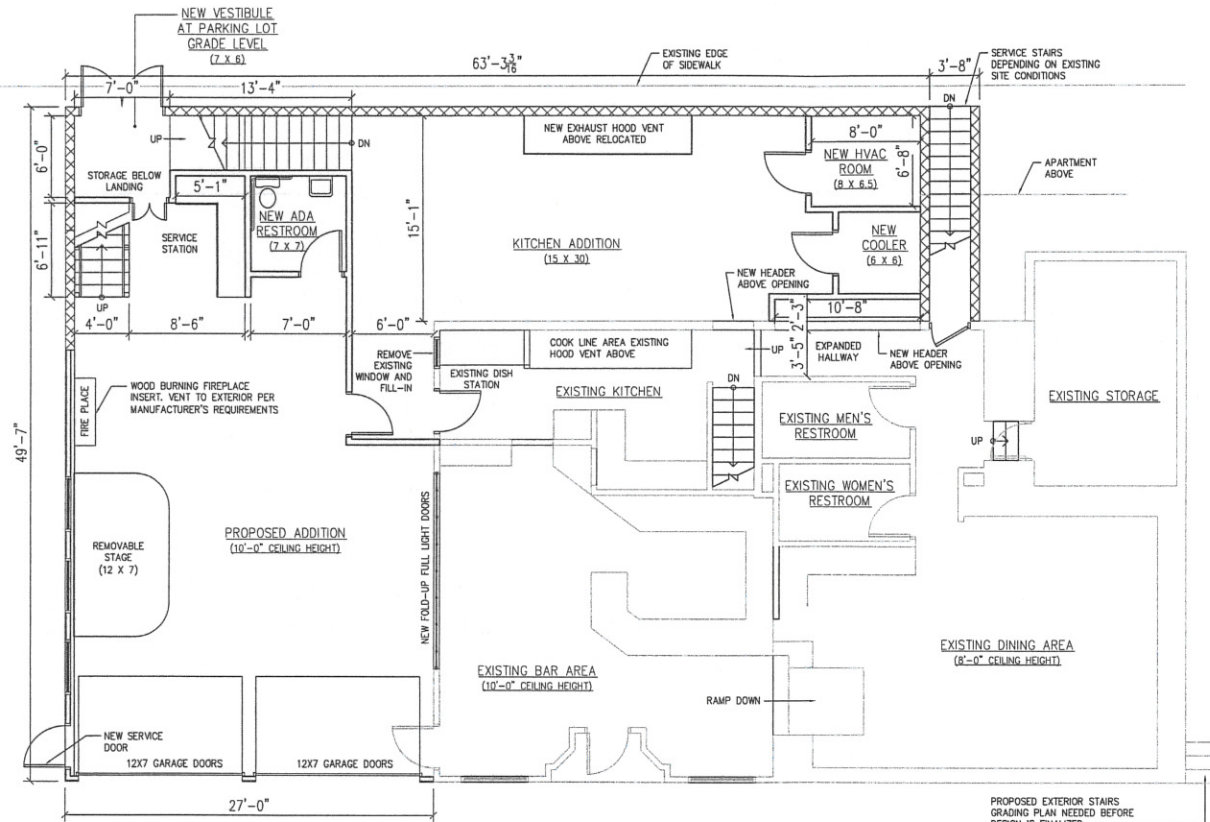
Continued To: _____
Referred To: _____
Denied _____
File No. _____

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PROPOSED ADDITION FOR:
SLOPPY JOE'S
3723 HUBERTUS ROAD
HUBERTUS, WI 53033

CITY PLANNING
File Name:
SLOPPY
JOES10-12-2016
Date: 10/12/2016
Drawn By:
<KORENA>

Drawing Submitted:
For City Planning
SHEET 1 OF 4
Scale: 1/4" = 1'-0"
Sheet
A1
FLOOR PLAN



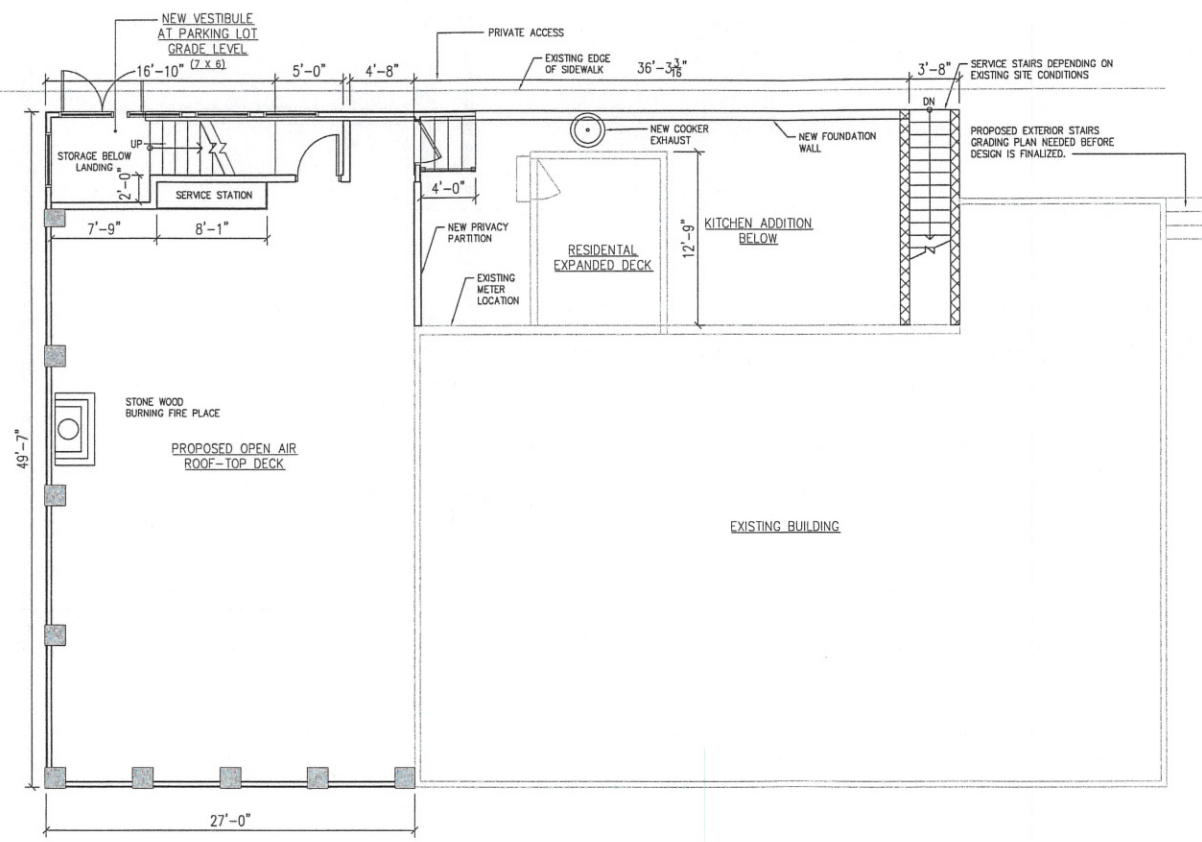
PROPOSED ADDITION MAIN FLOOR
SCALE: 1/4" = 1'-0"



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PROPOSED ADDITION FOR:
 SLOPPY JOE'S
 3723 HUBERTUS ROAD
 HUBERTUS, WI 53033

CITY PLANNING
 File Name:
 SLOPPY
 JOES10-12-2016
 Date: 10/12/2016
 Drawn By:
 <KORENA>
 Drawing Submitted:
 For City Planning
 SHEET 2 OF 5
 Scale: 1/4" = 1'-0"
 A2
 FLOOR PLAN



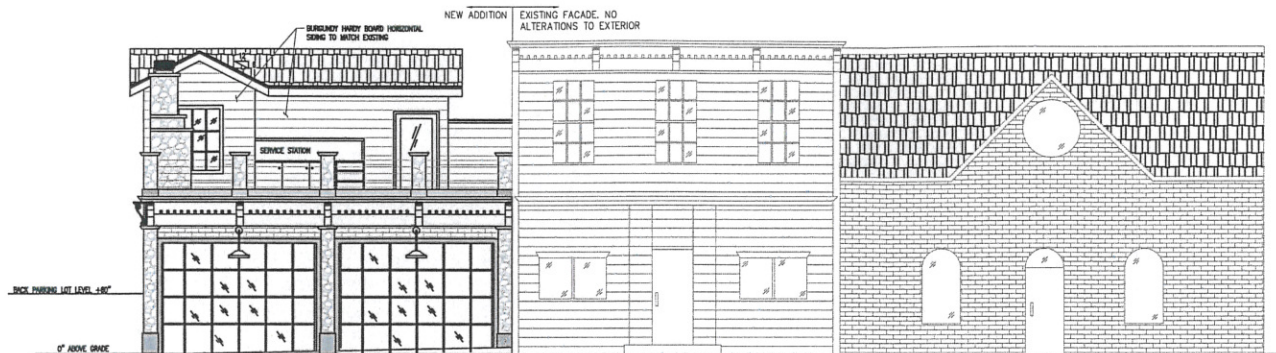
PROPOSED ADDITION SECOND LEVEL AND ROOF DECK
 SCALE: 1/4" = 1'-0"

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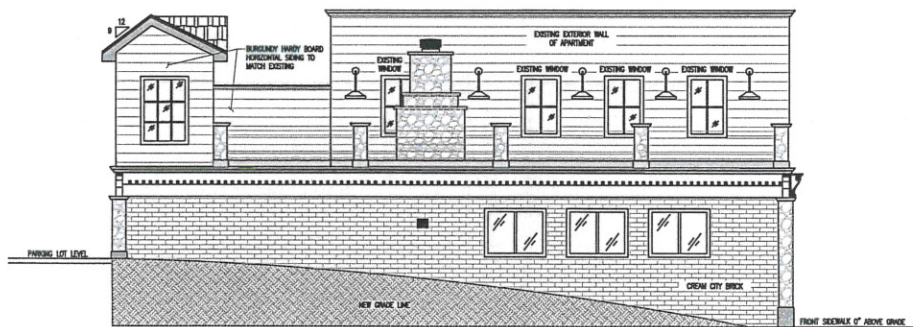
PROPOSED ADDITION FOR:
SLOPPY JOE'S
3723 HUBERTUS ROAD
HUBERTUS, WI 53033

CITY PLANNING
File Name:
SLOPPY
JOES10-12-2016
Date: 10/12/2016
Drawn By:
<KORENA>

Drawing Submitted:
For City Planning
SHEET 3 OF 4
Scale: 1/4" = 1'-0"
Sheet
A3
ELEVATION



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

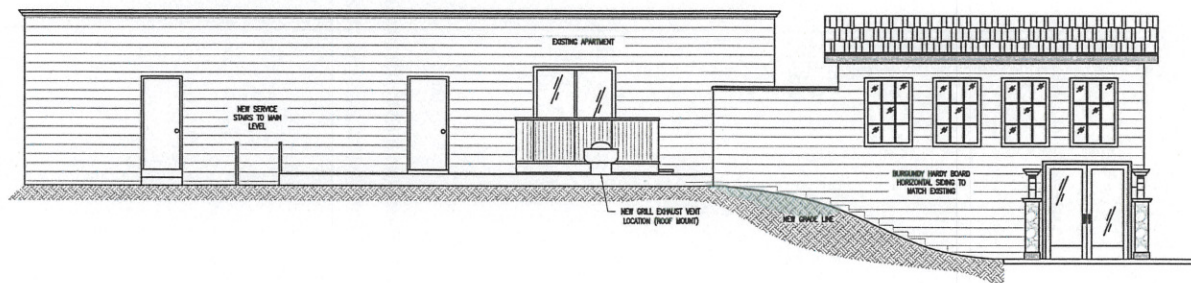


EAST ELEVATION
SCALE: 1/4" = 1'-0"

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PROPOSED ADDITION FOR:
SLOPPY JOE'S
3723 HUBERTUS ROAD
HUBERTUS, WI 53033

**CITY
PLANNING**
File Name:
SLOPPY
JOES10-12-2016
Date: 10/12/2016
Drawn By:
<KORENA>
Drawing Submitted:
For City Planning
SHEET 4 OF 4
Scale: 1/4" = 1'-0"
A4
ELEVATION



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"